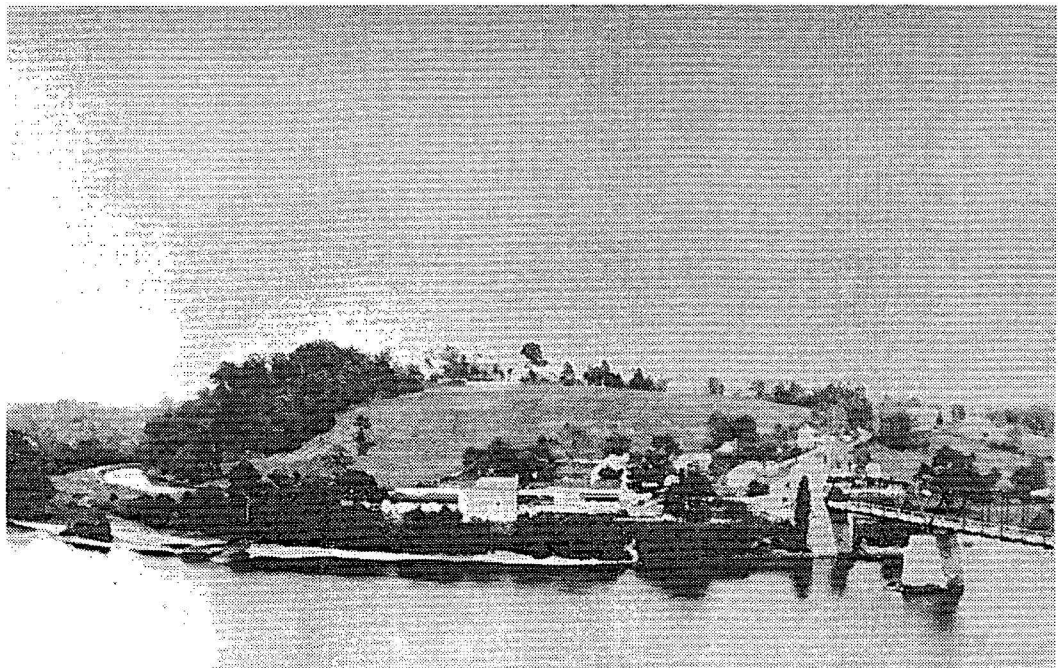


Document No.: D-214

CULTURAL LANDSCAPE REPORT

Ferry Hill

Chesapeake & Ohio Canal National Historical Park



View of Ferry Hill, Bridgeport, the C&O Canal from Shepherdstown (ca. 1890)



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Washington, DC

Chapter 5:
Management Philosophy



PART II:
CHAPTER 5MANAGEMENT PHILOSOPHY
AND MANAGEMENT ISSUESManagement Philosophy

The publication *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* provides professional standards and guidance for treatments to cultural landscapes listed in or eligible for listing in the National Register of Historic Places. The document defines four types of treatment for historic landscapes including preservation, restoration, reconstruction, and rehabilitation.⁹⁶

Generally, when developing an appropriate treatment approach for a historic site, a range is developed and considered. For reasons explained in the following paragraphs, the treatment alternatives described in Chapter 6 for the Ferry Hill site explore a range of levels of treatment within one philosophical approach, that of rehabilitation.

Preservation

Preservation involves applying measures to sustain the *existing* form, integrity, and materials of an historic property. This approach focuses upon stabilizing and protecting extant historic resources, rather than replacing missing elements. It is appropriate when a historic property is essentially intact and does not require extensive repair or replacement, depiction at one particular period of time is not appropriate, and when continuing or new use does not require additions or alterations.⁹⁷

The Ferry Hill site is not eligible for preservation as a treatment approach due to three aspects of the current conditions of the site. First, the landscape has been manipulated extensively, permanently altering the vegetation, topography, land use, spatial organization, patterns of circulation, and views. Second, numerous historic features are absent. Finally, a number of non-contributing elements have been added since the period of significance ended. These factors result in a historic property that is not essentially intact and therefore not eligible for preservation treatment.

Restoration

Restoration is the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period in time. This includes reconstruction of missing features from the restoration period, and removal of features from all other

⁹⁶ Birnbaum, Charles A. and Christine Capella Peters, 1996. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*. Washington DC: Department of the Interior, National Park Service, 3-5.

⁹⁷ Ibid., 17-18.

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periods. The approach can be considered only when the property's significance during a particular period of time outweighs the loss of extant elements from other historical periods, and when there is substantial physical and documentary evidence for the work, and when contemporary alterations and additions are not planned.⁹⁸

The Ferry Hill site is not eligible for restoration as an overall treatment approach due to the site's long and overlapping periods of significance, the existence of *contributing* elements from different periods, and the lack of substantial evidence upon which restoration treatments could be based.

Reconstruction

Reconstruction is the act or process of using new construction to depict a non-surviving site, landscape, building, structure, or object as it appeared at a specific period of time in its historic location. The approach is appropriate only when the property's significance during a particular period of time outweighs the potential loss of extant features that characterize other historical periods. In addition, there must be substantial physical and documentary evidence for the work, and the work must be clearly identified as a contemporary re-creation.⁹⁹

The Ferry Hill site is not eligible for reconstruction as an overall treatment approach due to the site's long and overlapping periods of significance, the existence of contributing elements from different periods, and the lack of substantial evidence upon which reconstruction of missing elements could be based.

Rehabilitation – Most Appropriate for Ferry Hill

The act or process of rehabilitation allows repairs, alterations, and additions necessary to enable a compatible use for a property as long as the portions or features that convey the historical, cultural, or architectural values are preserved. This approach is appropriate when depiction at one particular period of time is not appropriate, repair or replacement of deteriorated features is necessary, and alterations or additions are needed for a new use.¹⁰⁰

Rehabilitation has been selected as the most appropriate management philosophy for the Ferry Hill site. The multiple periods of significance for the property, absence of key historic elements, existence of many non-contributing features, and extensive modifications to the landscape indicate a need for

⁹⁸ Ibid., 89-90.

⁹⁹ Ibid., 127-129.

¹⁰⁰ Ibid., 47-48.

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flexibility in treatment that can be provided under the philosophical approach of rehabilitation.

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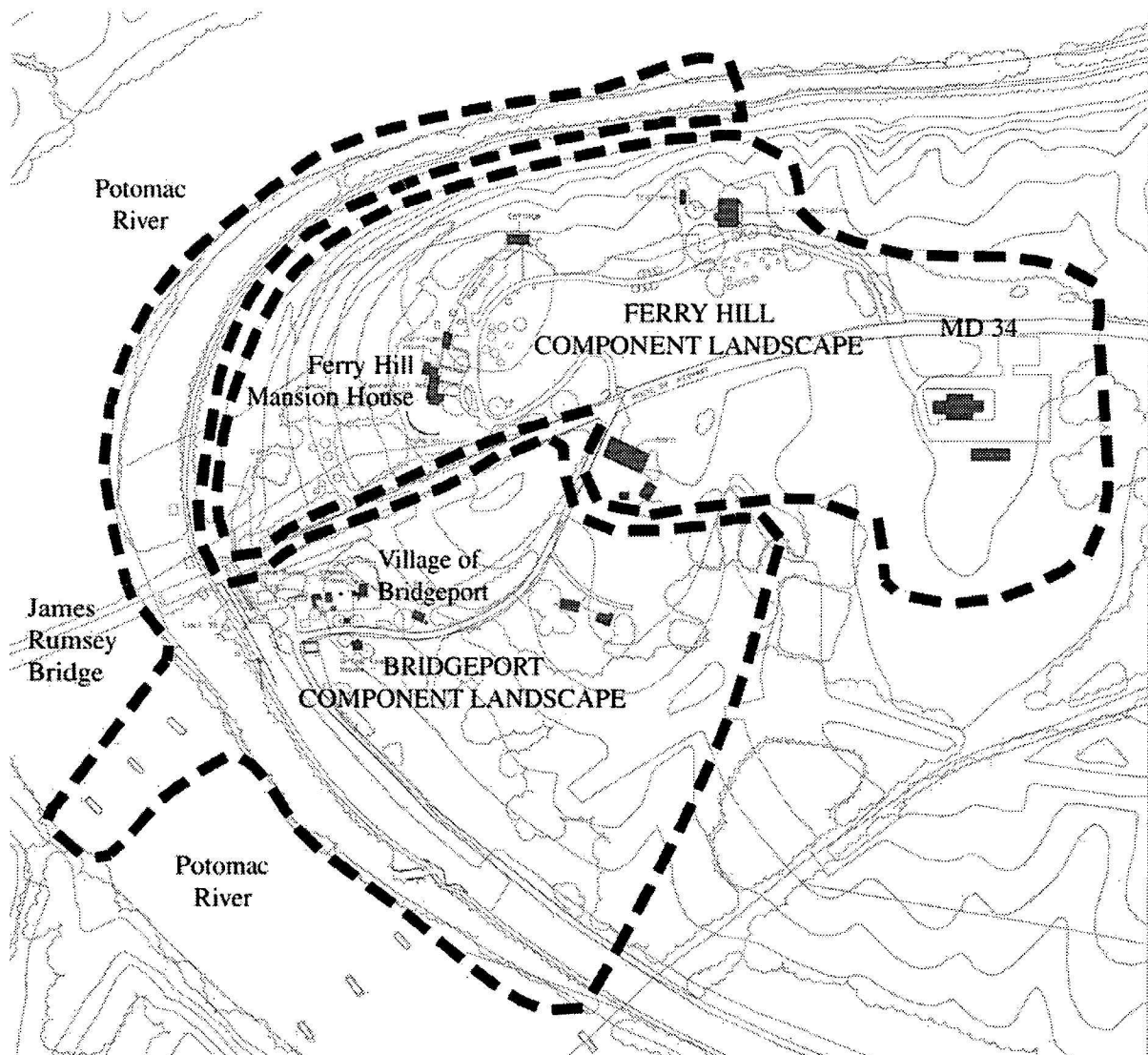
The Ferry Hill historic landscape is made up of two component landscapes (see figure 5.1) that are subdivided into character areas (see figure 5.2).

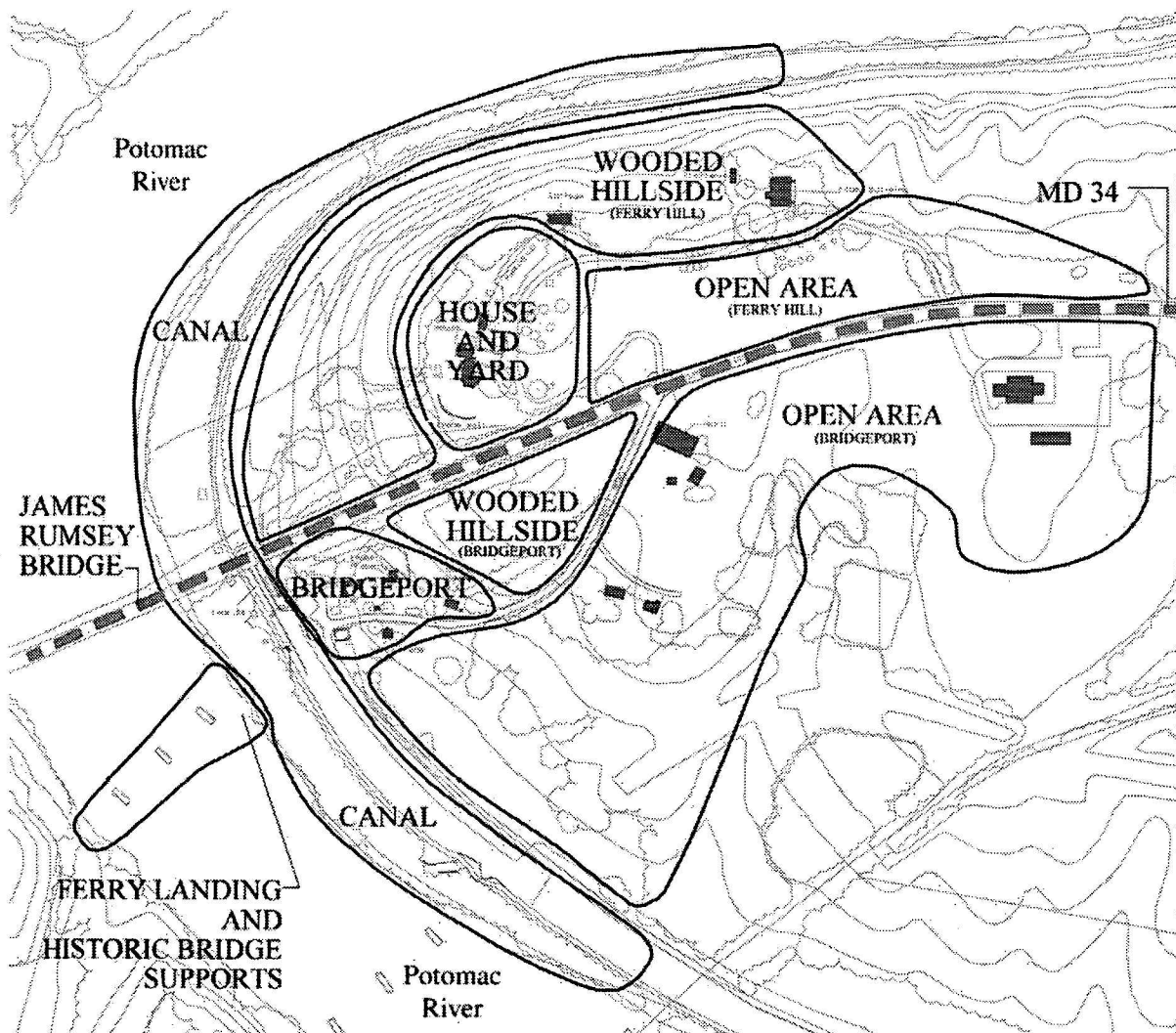
Ferry Hill Component Landscape: includes the historic resources located on the upper plateau of the site. Major features are the Ferry Hill mansion house and the curved stone wall, as well as views across the river. This component landscape is made up of four character areas including:

- House and Yard - the area most closely associated with the mansion house, including the stone wall and sites of the former outbuildings and garden.
- Wooded Hillside - steep slope between the high plateau and the Potomac River.
- Open Area - open space within the view of the mansion house that was historically cultivated, orchard, or pasture.

Bridgeport Component Landscape: is made up of resources related to the small community of Bridgeport, the canal, and the historic bridges.

- Village - the structures, landscape features, and archeological resources clustered along the road at the base of the hill.
- Canal - structures, landscape features, and archeological resources associated with the C&O Canal.
- Wooded Hillside - densely vegetated and sloped area between the village and MD Route 34.
- Ferry Landing Site and Historic Bridge Piers - site where the ferry was located and structures in the Potomac River.
- Open Area - mix of sloped/level, open/wooded land that displays a rural character.
- James Rumsey Bridge - MD Route 34 and the bridge.

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AND MANAGEMENT ISSUES**FIGURE 5.1: COMPONENT LANDSCAPES**

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AND MANAGEMENT ISSUES**FIGURE 5.2: LANDSCAPE CHARACTER AREAS**

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Management Issue: While historic photographs and written journal accounts provide a general understanding of historic vegetation present during the period(s) of significance, documentary and physical evidence regarding specific species and locations of historic vegetation is minimal.

General Recommendations:

- Consider conducting archeological research to increase documentary evidence regarding historic vegetation within the historic core areas. If sufficient evidence is located to accurately identify the locations of the deciduous canopy trees that lined the entrance road, consider recreating this tree line by replanting trees.
- Consider vegetation in a broad context and manage relationships between open fields and woodland in most areas by preserving the current patterns of spatial organization.
- In areas where woody vegetation negatively impacts historic views, remove or prune selected vegetation to restore views when this can be done without impacting the rare plants that are located near Ferry Hill. Protect the rare plants near Ferry Hill by carefully evaluating any possible impacts to the species before undertaking any alterations to the existing vegetation. Monitor the habitat and health of the protected species.
- Maintain woody vegetation in areas where it positively impacts views by screening modern intrusions.
- Prepare a Natural Resource Management Plan for the site.

Topography

Management Issue: Extensive alterations to topography have occurred, greatly changing the functions and visual character of the landscape. In addition, future alterations to topography will occur during the construction of the new James Rumsey Bridge and realignment of MD Route 34.

General Recommendation: After completion of archeological investigations, reverse changes to topography where possible within the Ferry Hill historic core. Attempt to limit impacts to the site from the James Rumsey Bridge construction project by participating in the design process, and encouraging the minimization of grading for the project.

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AND MANAGEMENT ISSUES**Land Use**

Management Issue: Historic land use at Ferry Hill and Bridgeport included agriculture, war-related activities, commercial, transportation, and residential uses. All of these historic land uses cease to exist in their former capacity. Two of the Bridgeport residences are currently used for housing, and the property serves as a major transportation corridor. The remainder of the Bridgeport buildings are vacant. Until recently, the site served as the headquarters for the C&O Canal National Historical Park.

General Recommendations: Consider new uses for the site that will allow increased public access and interpretation of the property. Prepare Historic Structures Reports for the Ferry Hill Mansion house, the Barr house, the Blackford/Knode store and outbuildings, and the Knode house, to determine the most appropriate use and treatment for the structures. Consider rehabilitation of the Ferry Hill Mansion house for a visitor center or house museum. Prepare an Interpretive Plan for the site.

Spatial Organization

Management Issue: At Ferry Hill, numerous non-contributing buildings and elements exist that greatly reduce possibilities for understanding the historic spatial relationships. At Bridgeport, the main organizing feature of the community remains (the road), but very important connections to the canal and the river crossing (ferry or bridge) are difficult to envision.

General Recommendation: When possible, remove non-contributing buildings and elements. Provide indicators of historic elements when sufficient documentation exists.

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Management Issue: Three major historic vehicular circulation routes have been altered at the site. The historic farm entrance road, the original highway alignment, and the original river crossing routes have all been changed. All three routes were important to the form and functions of the historic landscape. Currently, it is difficult to distinguish the previous locations of these routes. Historic documentation and physical evidence regarding pedestrian circulation patterns are somewhat limited. Pedestrian links between the paved paths in Bridgeport and the canal towpath are ambiguous due to the unpaved parking lot situated between the two.

General Recommendations: Provide visual indicators and interpretive information showing the former alignment of the major vehicular circulation routes. Where possible, remove non-historic circulation routes. Provide a more direct pedestrian link from Bridgeport to the canal bridge that leads to the towpath.

Views

Management Issue: Historically, views toward the Ferry Hill mansion house, farm, and Bridgeport from the Potomac River and Shepherdstown were prominent. Ferry Hill served as a landmark. Also, views from the Ferry Hill mansion house to the river, its opposite bank, and the surrounding landscape, were an important part of the character of the historic landscape. Finally, views between Ferry Hill and Bridgeport were open and provided visual links for travelers, soldiers, and merchants. The Ferry Hill mansion house continues to serve as a landmark viewed from across the river, but is no longer visible from Bridgeport. Views from Ferry Hill toward Shepherdstown present a more modern landscape with contemporary structures beginning to dominate the view. In both directions, the James Rumsey Bridge and the changes to vegetation and topography resulting from the construction of the bridge, have altered views dramatically.

General Recommendations: Where possible without impacting any rare or endangered plants, their habitat, or designated buffer zones, restore desirable views by selectively pruning or removing vegetation. Be careful to prevent the creation of undesired views when restoring historic views. Also, screen undesired views (those that present modern intrusions to the scene, such as the highway and James Rumsey Bridge) using carefully designed masses of vegetation.

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AND MANAGEMENT ISSUES**Buildings, Structures, and Small Scale Features**

Management Issue: There are several non-contributing buildings and structures at the site. The Ferry Hill mansion house has been altered from its historic form. Also, several contributing buildings and elements in Bridgeport are in poor condition.

General Recommendations: Remove non-contributing buildings and structures. Prepare Historic Structures Reports for the Ferry Hill Mansion house, the Barr house, the Blackford/Knode store and outbuildings, and the Knode house. Manage the structures according to the recommendations provided in the reports.

Management Issue: The James Rumsey Bridge is being replaced with a new bridge, (located slightly upriver from the existing bridge), and a portion of MD 34 near the bridge abutments will be realigned. The new bridge will incorporate pedestrian access across the river. A plan of the proposed design is included in Appendix A. The design indicates that a large pedestrian overlook will be constructed on the downstream side of the bridge. Also, a pedestrian route that crosses under the bridge, then zig-zags down the hill (directly below the Ferry Hill mansion house) to the level of the towpath is indicated. Although the pedestrian overlook essentially utilizes the existing road alignment, the scale of this element in combination with the proposed road right of way is overpowering in comparison to the resources at Bridgeport and Ferry Hill. The overall project threatens to dwarf the historic resources, adversely impacting the character, views, topography, and vegetation, associated with the historic landscape. The construction of the pedestrian route may also negatively impact the woodland vegetation on the hillside, which includes several rare plant species. This project will increase the visibility of the road and bridge (by increasing their size and changing the topography and vegetation). Additionally, the construction process will temporarily impact Bridgeport, since the construction staging area will be located within the historic district.

General Recommendations: The management staff of the C&O Canal National Historical Park and the National Capital Regional Office should remain involved in the planning and design process for the bridge project. Encourage the design team to consider a lower-impact solution to pedestrian access as indicated in the recommended treatment plan. Monitor construction activities to ensure protection of cultural and natural resources.

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Management Issue: Visitors to Ferry Hill and Bridgeport arrive by automobile from Shepherdstown and Sharpsburg as well as other regional destinations. Local visitors include joggers, bikers, and walkers who use the towpath, or will use the bicycle/pedestrian path on the new bridge. Regional visitors include bikers and hikers who are traveling along the C&O Canal towpath, and Civil War buffs who are interested in the Civil War history of the site (combining a visit to this site with their visits to Antietam, Shepherdstown and other local destinations). Removal of the C&O Canal National Historical Park headquarters has created an opportunity for this to be an interpreted site open to visitors.

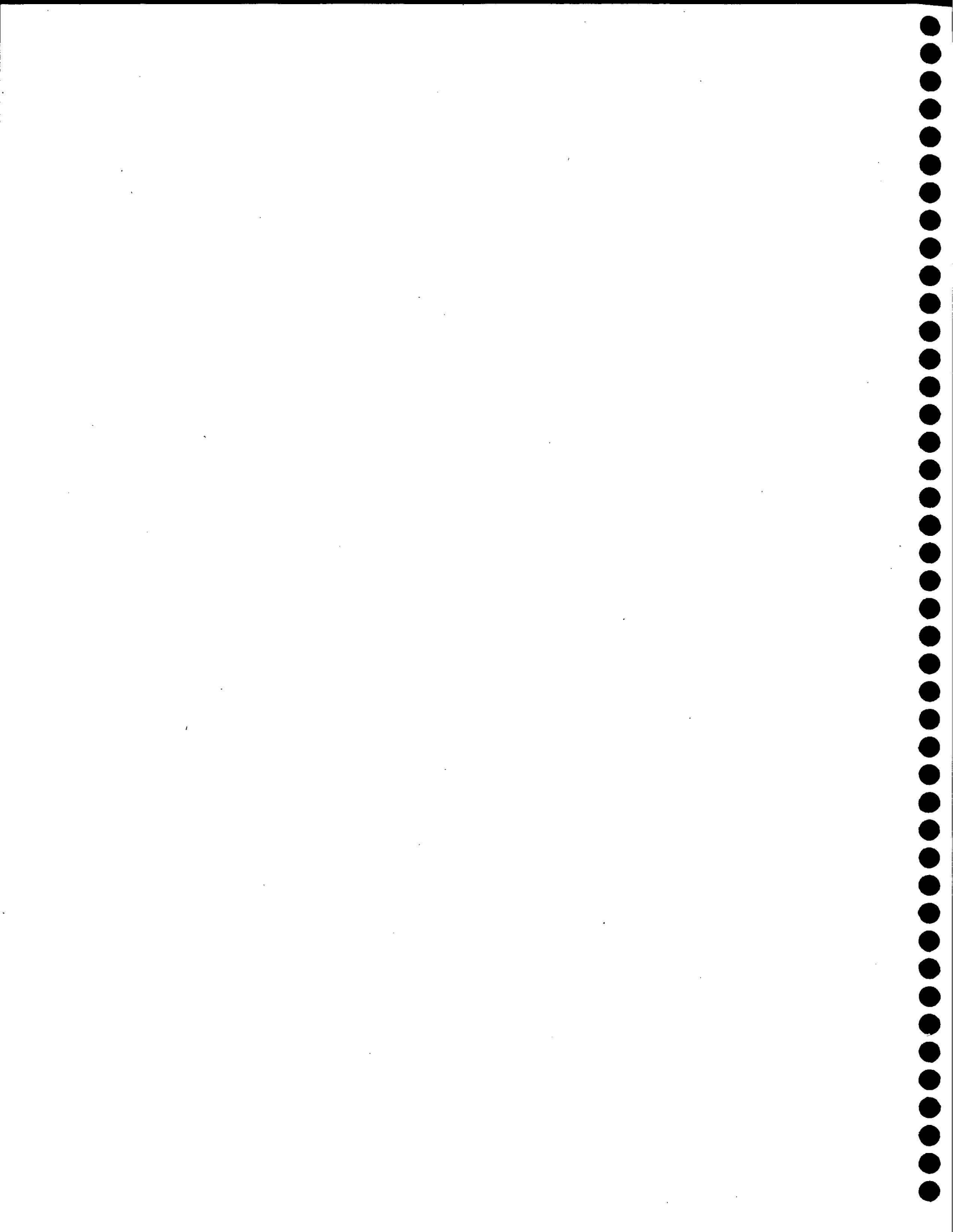
General Recommendations:

- Prepare an interpretive plan for the site.

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Chapter 6:
Treatment Alternatives



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**Treatment Alternative I:
Rehabilitation with
Minimal Intervention****General Concept:**

The site would be minimally rehabilitated, with emphasis placed on removal of non-contributing features and stabilization of contributing elements. Desired open areas would be defined and maintained. Other areas would be allowed to succeed to woodland. Current spatial patterns would change resulting in a more enclosed, smaller-scale cultural landscape character. Visitor amenities would be minimal. Figure 6.1 illustrates the management zones defined for this alternative (Treatment Alternative I). Figure 6.2 is a schematic plan of site developments proposed in this alternative (Treatment Alternative I).

**Ferry Hill Component Landscape
Treatment Recommendations:****Ferry Hill Core Treatment Area**

Description of the Area: This area includes the House and Yard and Open Area Character Areas associated with the Ferry Hill Component Landscape.

Treatment Recommendations:

- Remove non-contributing elements including: portions of the asphalt road, parking areas near the Ferry Hill mansion house and near the Flood building, entry gates and brick walls at current entrance, small-scale vegetation, sidewalks, non-contributing buildings.
- One non-contributing building, the cottage, should remain to provide office space for the NPS.
- The existing road that intersects with MD 34 near the American Legion site should remain as an access road for the site.
- The existing parking lot, between the garage and cottage, should remain.
- Maintain the Ferry Hill mansion house in its current configuration.
- Provide minimal visitor access to the house. Provide a paved, universally accessible, path between the parking lot and the house.
- Define the area to be mown around the Ferry Hill mansion house. Maintain as lawn.
- Other open areas should be meadows with tall grasses and forbs.
- Preserve the historic curved stone wall.

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Wooded Hillside (North of MD 34)

Description of the Area: This area includes steep slopes between the Ferry Hill Core Treatment Area and the Potomac River. The Wooded Hillside zone includes part of a significant natural area that includes ten plant species that are rare in the state. The current pedestrian trail is impacting the rare plants.

Treatment Recommendations for Wooded Hillside:

- Develop a Natural Resource Management Plan to direct management of the plant community and the rare plants.
- Monitor the plant community and the rare plants.
- Maintain the existing pedestrian trail.
- Consider implementing methods to help minimize impacts to the rare plants.

Bridgeport Component Landscape**Treatment Recommendations:****Bridgeport Core Treatment Area**

Description of the Area: This area includes the Village and Ferry Landing site Character Areas associated with the Bridgeport Component Landscape.

Treatment Recommendations: Stabilize the structures and landscape elements in Bridgeport. Remove vegetation that is dying or dangerous (to people or structures). Allow visitors to experience this site as a "discovery site." Remove non-contributing elements, or locate them so that they do not interfere with the historic scene. Relocate or screen the portable toilets.

Canal and Towpath

Description of the Area: This area includes the structures, landscape features, and archeological resources associated with the C&O Canal.

Treatment Recommendations: Manage according to overall Canal treatment standards.

Highway and Bridge

Description of the Area: This includes the highway, MD 34, the James Rumsey Bridge, the proposed highway alignment, and the proposed new James Rumsey Bridge. It also includes the right-of-way, and areas where grading has or will occur for the road and bridge.

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Treatment Recommendations:

- Minimize intersections with MD 34.
- Provide location for consolidation of visitor information signs at the vehicular entrance to the Ferry Hill site.
- Minimize impacts from the upcoming construction project by remaining involved in the design and planning process.
- Maintain existing vegetative screen, buffering views and noise from the road.
- Replace any vegetative buffer lost during the upcoming construction project.

Wooded Hillside (S. of MD 34)

Description of the Area: This is the densely vegetated, steeply sloping area located between MD 34 and Bridgeport.

Treatment Recommendations: Hands-off management. Allow the plant community to develop without human intervention.

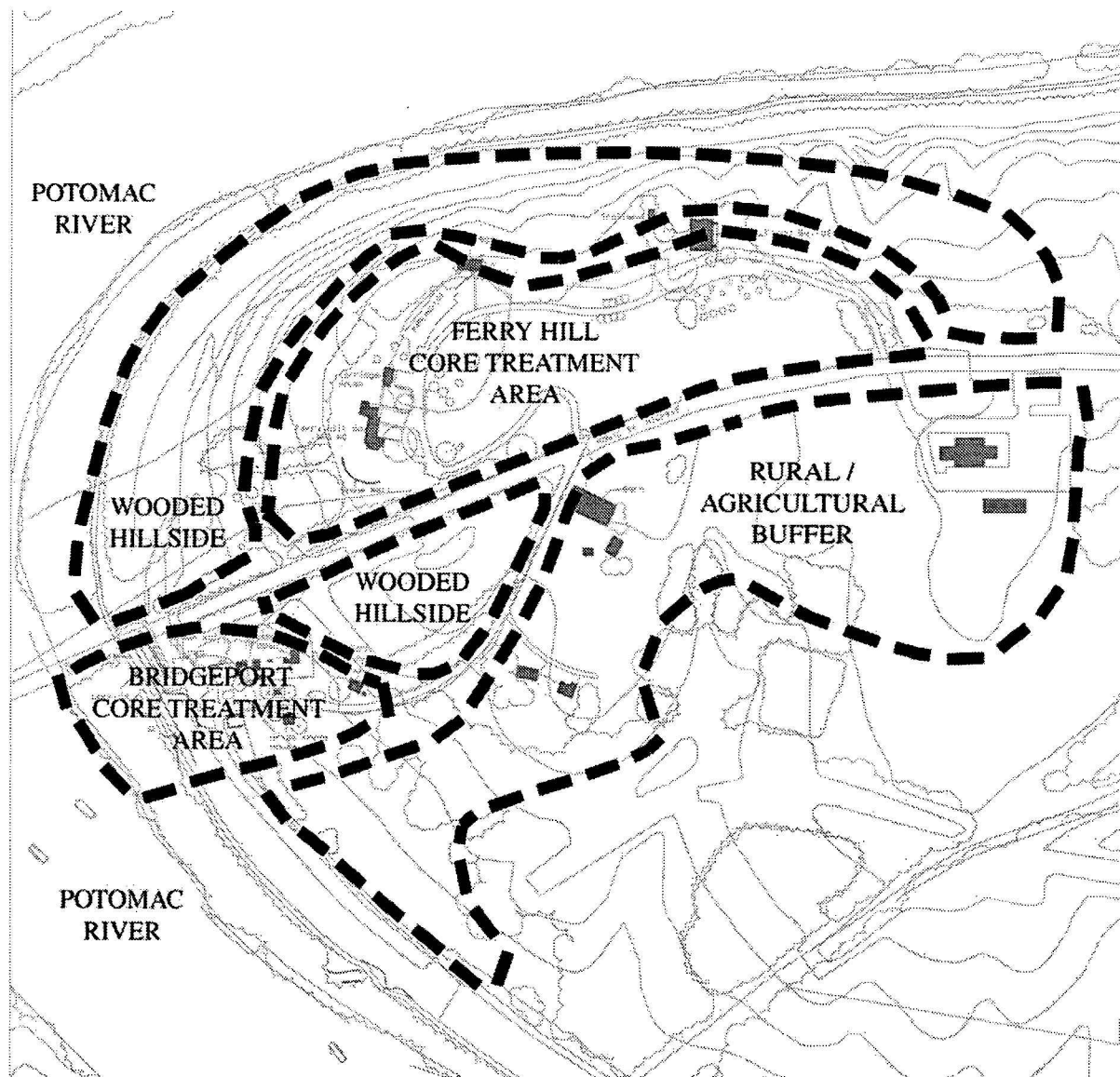
Rural/Agricultural Buffer

Description of the Area: This area includes the "Open Area" Character Area associated with the Bridgeport Component Landscape. It is characterized by a mix of sloped and level, open and wooded land that conveys a rural, agricultural character. An American Legion hall and parking lot are located on MD 34 across from the Ferry Hill site. The property is privately owned.

Treatment Recommendations: No treatment recommended. This property will remain in private ownership and the park will not influence the future use, ownership, or appearance of the site.

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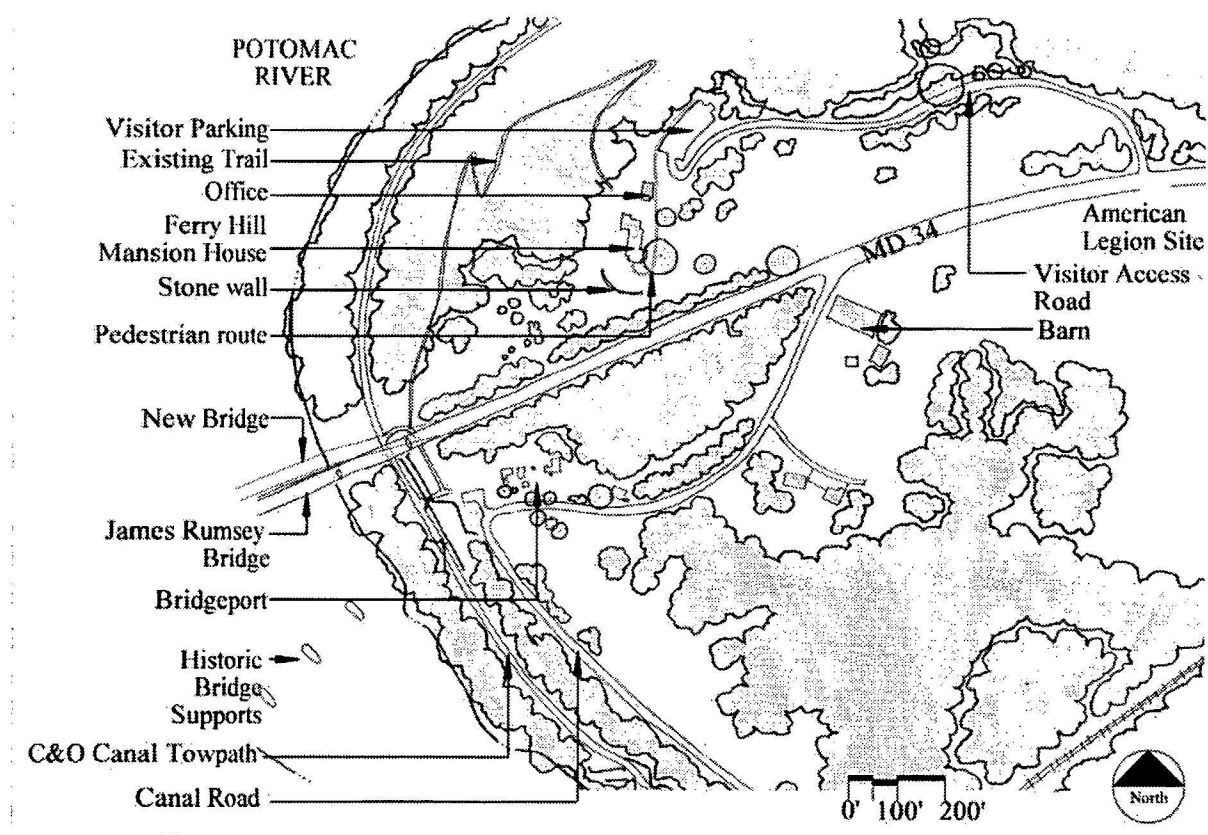
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FIGURE 6.1: MANAGEMENT ZONES**TREATMENT ALTERNATIVE I: Rehabilitation with Minimal Intervention**

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FIGURE 6.2: SCHEMATIC PLAN
TREATMENT ALTERNATIVE I: Rehabilitation with Minimal Intervention



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Rehabilitation with
Moderate Intervention****General Concept:**

The site would be rehabilitated to a moderate level, with emphasis on removal of non-contributing elements, preservation and rehabilitation of significant historic buildings and elements, and clarifying historic relationships between extant features. Desired open and enclosed areas would be defined and maintained or cleared. To a great extent, the existing relationship between woodlands and open areas would be preserved. Visitor amenities would be moderate. Figure 6.3 illustrates the management zones defined for this alternative (Treatment Alternative II). Figure 6.4 is a schematic plan of site developments proposed in this alternative (Treatment Alternative II).

**Ferry Hill Component Landscape
Treatment Recommendations:****Ferry Hill Core Treatment Area**

Description of the Area: This area includes the "House and Yard" Character Area, as well as the privately owned barn located on the south side of MD 34, and the land between the house and barn.

Treatment Recommendations:

- Remove non-contributing elements including: portions of the asphalt road, existing parking areas, entry gates and brick walls at current entrance, small scale vegetation, sidewalks, all non-contributing buildings.
- Construct an access road for the site that emulates the historic alignment of MD 34. The road will provide visitor vehicular access and parking.
- Provide a pedestrian route from the parking area to the Ferry Hill mansion house, following the alignment of the historic farm entrance drive.
- Establish a direct sight-line between the barn and the Ferry Hill mansion house. Remove non-historic elements within the sight-line. Remove non-contributing vegetation that obscures views between the barn and the Ferry Hill mansion house. Provide interpretive materials explaining that the original barn is no longer extant, but the existing barn approximates the historic barn's form and location.
- Restore the exterior of the Ferry Hill mansion house to its 1850-1870 appearance.
- Preserve the historic curved stone wall.

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Open Field

Description of the Area: This area includes the "Open Area" Character Area that is part of the Ferry Hill Component Landscape.

Treatment Recommendations:

- Remove woody plants and other non-contributing elements.
- Develop a Meadow Management Plan, and manage this area accordingly.
- Maintain meadow and allow plants to grow tall, mowing once or twice a year. Consider establishing an agreement with a local farmer to cut this and the adjacent field located in the core treatment area for hay.

Open Slope

Description of the Area: This is the sloped area located in front of the Ferry Hill mansion house.

Treatment Recommendations:

- Maintain as a grass meadow, mowing two to four times each year.
- Remove woody species frequently to discourage their encroaching on views to and from the house.
- Provide a pedestrian link from the towpath across the wooded hillside and through this open slope to approach the front door of the Ferry Hill mansion house.
- Replace the existing overhead utility lines with underground lines.

Wooded Hillside (North of MD 34)

Description of the Area: This area includes steep slopes between the Ferry Hill Core Treatment Area and the Potomac River. The Wooded Hillside zone includes part of a significant natural area that includes ten plant species that are rare in the state. The current pedestrian trail is impacting the rare plants.

Treatment Recommendations for Wooded Hillside:

- Develop a Natural Resource Management Plan to direct management of the plant community and the rare plants.
- Monitor the plant community and the rare plants.
- Consider implementing methods to help minimize impacts to the rare plants.
- Redesign and construct a safe (but not universally accessible) pedestrian trail through this zone. This will replace the existing trail that is very steep and narrow in

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several places. To achieve this, the trail should hug the contours of the slope and use a series of switchbacks. Carefully survey the route to determine the most appropriate layout of the trail.

- Maintain the towpath and preserve the canal and canal associated features.

Bridgeport Component Landscape**Treatment Recommendations:****Bridgeport Core Treatment Area**

Description of the Area: Includes the Village Character Area, as well as the adjacent Canal and the historic bridge piers.

Treatment Recommendations:

- Stabilize the extant structures and landscape elements in Bridgeport.
- Remove vegetation that is dying or dangerous (to people or structures).
- Allow visitors to experience this site as a "discovery site."
- Remove non-contributing elements, or locate them so that they do not interfere with the historic scene.
- Relocate or screen the portable toilets.
- Reconfigure the parking lot and provide a comfortable pedestrian link between the village and the pedestrian bridge that crosses over the canal.
- Attempt to re-establish a view of the Ferry Hill mansion house from the canal or the village.

Wooded Area (South of MD 34)

Description of the Area: A densely vegetated, steeply sloping area located between MD 34 and Bridgeport.

Treatment Recommendations: Selectively prune or remove trees to re-establish a limited view between the canal or the village and the Ferry Hill mansion house. Carefully consider any removal and weigh potential disadvantages associated with opening views to the highway before implementing this recommendation.

Canal and River (South of MD 34)

Description of the Area: The C&O Canal, its associated features, and the historic railroad bridge piers.

Treatment Recommendations:

- Preserve the canal, towpath, and associated features.
- Preserve the historic railroad bridge piers.

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- Manage views to the Ferry Hill core treatment area and to the Potomac River by selectively pruning or removing trees and shrubs.

Rural/Agricultural Buffer

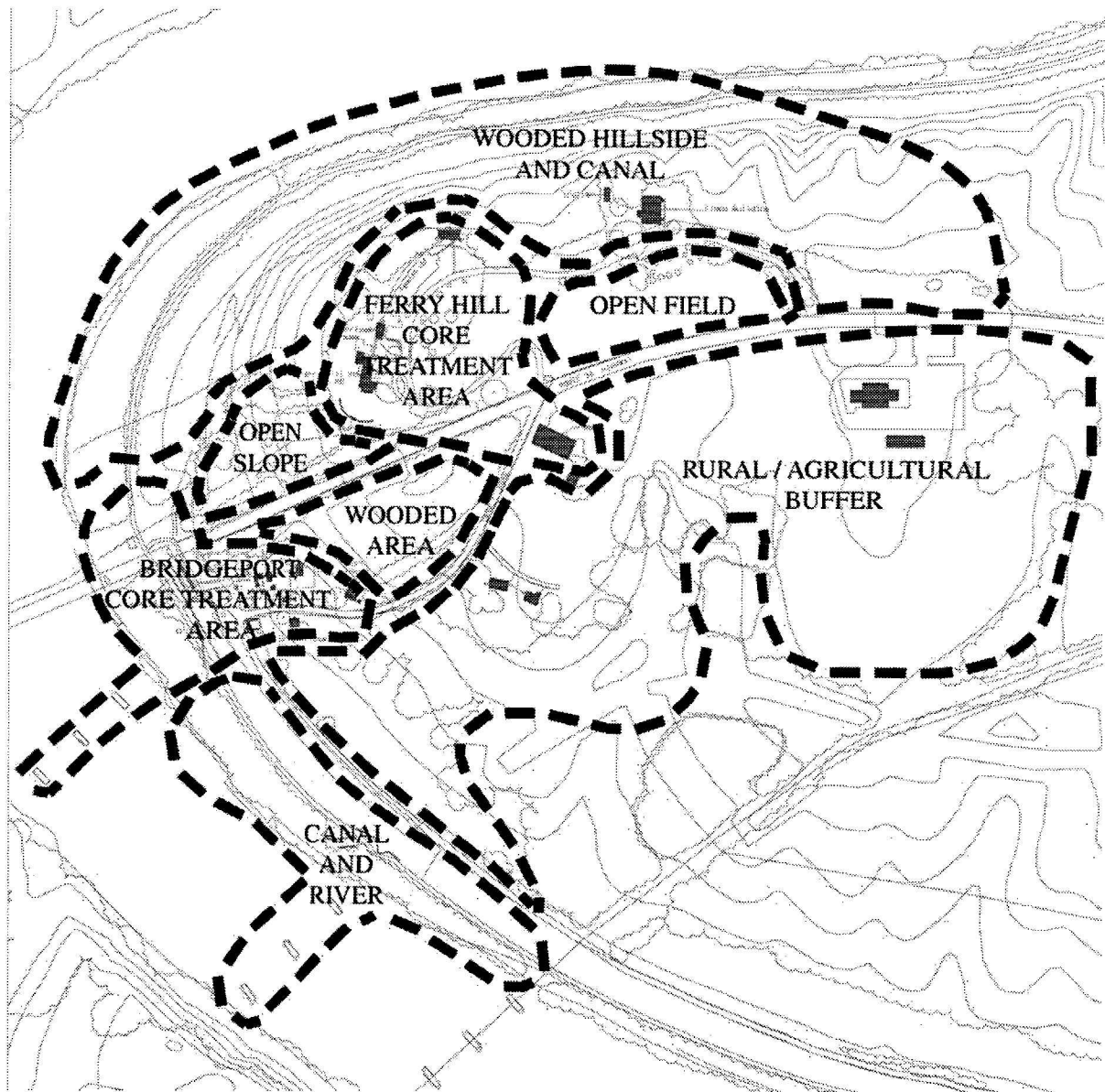
Description of the Area: This area includes the "Open Area" Character Area associated with the Bridgeport Component Landscape. It is characterized by a mix of sloped and level, open and wooded land that conveys a rural, agricultural character. The property is privately owned. Contemporary developments include an American Legion Hall, and a small cluster of residential/agricultural buildings.

Treatment Recommendations:

- Screen development -- Negotiate an agreement with the property owners to allow the installation of vegetation to screen views of the American Legion Hall and parking lot from MD 34 and the Ferry Hill site.
- Negotiate agreement with owner of residential/agricultural buildings to provide a vegetative screen to block views toward this contemporary development.
- Develop a Meadow Management Plan to determine appropriate management of the fields.
- Consider negotiating an agreement with the property owner to protect the visual character of the landscape.

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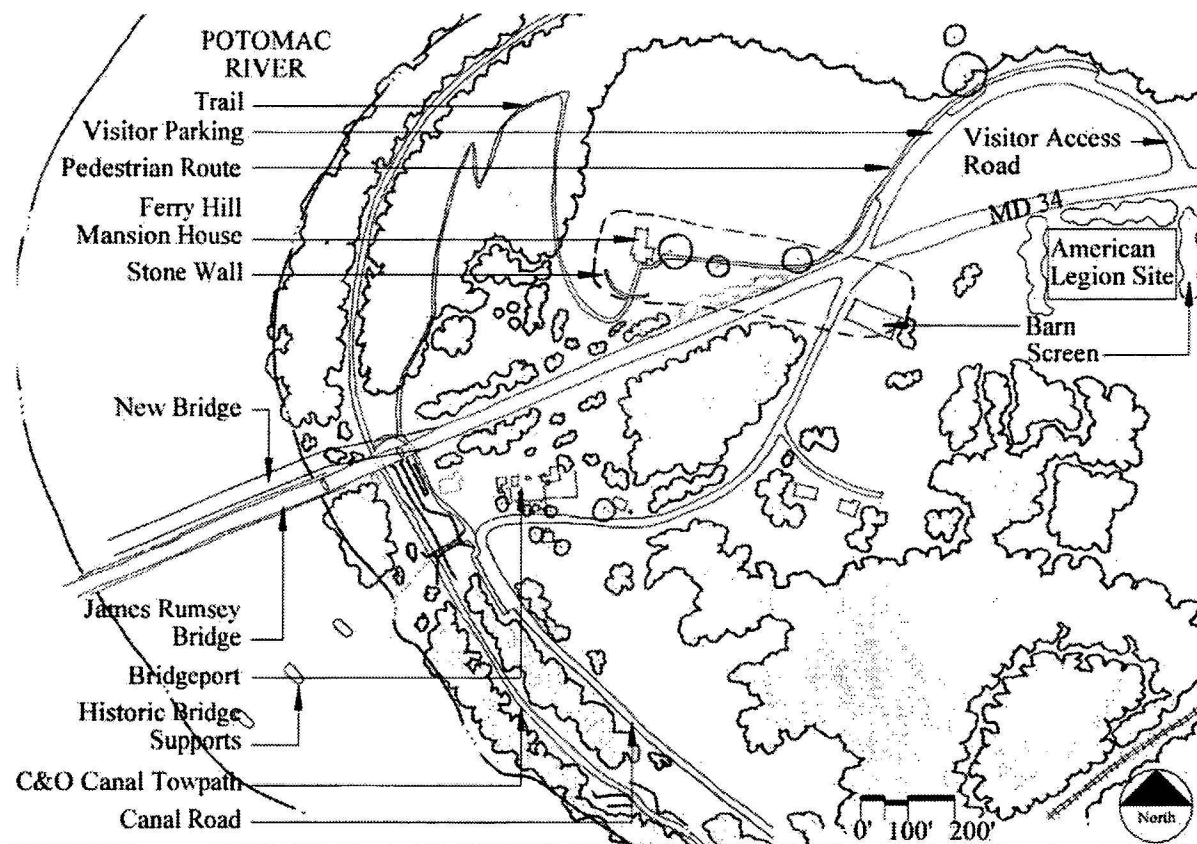
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FIGURE 6.3: MANAGEMENT ZONES**TREATMENT ALTERNATIVE II: Rehabilitation with Moderate Intervention**

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FIGURE 6.4: SCHEMATIC PLAN
TREATMENT ALTERNATIVE II: Rehabilitation with Moderate Intervention



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**Treatment Alternative III:
Rehabilitation with
Maximum Intervention****General Concept:**

The site would be rehabilitated through removal of non-contributing features, preservation of extant structures and elements, and restoration of key landscape elements and agricultural land use. Views between landmark features would be cleared. This approach would improve the legibility of the historic landscape by restoring historic agricultural use and spatial relationships. The open character would also increase the visual and auditory impacts to the site presented by the highway and James Rumsey Bridge. Visitor amenities would be moderate. Figure 6.5 illustrates the management zones defined for this alternative (Treatment Alternative III). Figure 6.6 is a schematic plan of site developments proposed in this alternative (Treatment Alternative III).

**Ferry Hill Component Landscape
Treatment Recommendations:****Ferry Hill Core Treatment Area**

Description of the Area: This area includes the "House and Yard" Character Area, as well as the privately owned barn located on the south side of MD 34, and the land between the house and barn. It also includes a portion of the Open Area Character Area associated with the Ferry Hill Component Landscape.

Treatment Recommendations:

- Selectively remove non-contributing buildings, structures, plants, and landscape elements.
- Construct an access road for the site that emulates the historic alignment of MD 34. The road will provide visitor vehicular access and parking.
- Provide an accessible pedestrian route from the parking area to the Ferry Hill mansion house, following the alignment of the historic farm entrance drive.
- Establish a direct sight-line between the barn and the Ferry Hill mansion house. Remove non-historic elements within the sight-line. Remove non-contributing vegetation that obscures views between the barn and the Ferry Hill mansion house. Provide interpretation explaining that the original barn is no longer extant, but the existing barn approximates the historic barn's form and location.
- Restore the exterior of the Ferry Hill mansion house to its 1850-1870 appearance.
- Conduct archeological investigations to determine the

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locations of the garden, the farm entrance road, fences, cultivated fields and significant trees.

- Restore the trees, garden, fences, alignment of the farm entrance road, and cultivated fields where sufficient evidence exists.
- Preserve the curved stone wall.

Wooded Hillside (North of MD 34)

Description of the Area: This area includes steep slopes between the Ferry Hill Core Treatment Area and the Potomac River. The Wooded Hillside zone includes part of a significant natural area that includes ten plant species that are rare in the state. The current pedestrian trail is impacting the rare plants.

Treatment Recommendations for Wooded Hillside:

- Develop a Natural Resource Management Plan to direct management of the plant community and the rare plants.
- Monitor the plant community and the rare plants.
- Maintain the existing pedestrian trail.
- Consider implementing methods to help minimize impacts to the rare plants.

Canal and Towpath Zone A

Description of the Area: The C&O Canal, towpath, and associated features in close proximity to the core treatment areas.

Treatment Recommendations: Selectively remove woody vegetation in this zone to recreate the open character that existed historically and to restore views throughout the area, and maintain as a meadow.

Canal and Towpath Zone B

Description of the Area: The C&O Canal, towpath, and associated features upriver from the core treatment areas.

Treatment Recommendations: Manage according to the overall C&O Canal treatment approach. Continue hands-off management of vegetation, allowing the native plant community to develop.

Historic Viewshed View Management Zone

Description of the Area: This zone includes steep slopes between the Ferry Hill Core Treatment Area and the Potomac River. The zone does not contain rare plants. Overhead power lines are located in the zone. The power lines negatively impact historic views to and from the Ferry Hill mansion house.

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Treatment Recommendations for View Management Zone:

- Convert the overhead power lines to underground lines.
- Manage vegetation within this zone to emphasize historic views when possible.
- Consider selective removal of woody vegetation to open the area and views. This open character will also allow views and sounds from the highway to more intensely permeate the historic sites. Carefully weigh the potential positive and negative impacts of removing vegetation before undertaking this action.
- Do not remove vegetation that is stabilizing the extremely steep slopes that have been created through the construction of MD 34 and the James Rumsey Bridge.

Bridgeport Component Landscape**Treatment Recommendations:****Bridgeport Core Treatment Area**

Description of the Area: Includes the Village Character Area, as well as the adjacent Canal.

Treatment Recommendations:

- Stabilize the extant structures and landscape elements in Bridgeport.
- Remove vegetation that is dying or dangerous (to people or structures).
- Remove vegetation that obstructs views to the Ferry Hill mansion house and to the Potomac River.
- Develop an interpretive program, such as a walking tour brochure, to provide visitors with information about the history of the site.
- Remove non-contributing elements, or locate them so that they do not interfere with the historic scene.
- Develop a parking lot along Canal Road near the Shepherdstown River Lock.
- Construct a pedestrian bridge spanning the canal to provide access from the parking lot to the towpath.
- Relocate the portable toilets near the proposed parking lot on Canal Road.
- Remove the parking lot at Bridgeport, and provide a pedestrian link from Bridgeport to the canal pedestrian bridge. Also, provide an interpretive exhibit focused on the history of Bridgeport in this area.
- Re-establish a view from the canal and the Village to the Ferry Hill mansion house.

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Rural / Agricultural Buffer

Description of the Area: This area includes the "Open Area" Character Area associated with the Bridgeport Component Landscape. It also includes the Open Area Character Area associated with the Ferry Hill Component Landscape. It is characterized by a mix of sloped and level, open and wooded land that conveys a rural, agricultural character. The majority of the property is privately owned.

Treatment Recommendations:

- Purchase this land, or negotiate a management agreement with the owners to ensure that the historic agricultural character will be restored.
- Remove non-contributing buildings and landscape elements (including the American Legion Hall, parking lot, contemporary residences, and outbuilding).
- Screen development -- Negotiate an agreement with the property owners to allow the installation of vegetation to screen views of the building and parking lot from MD 34 and the Ferry Hill site.
- Develop a Meadow Management Plan to determine appropriate management of the fields.

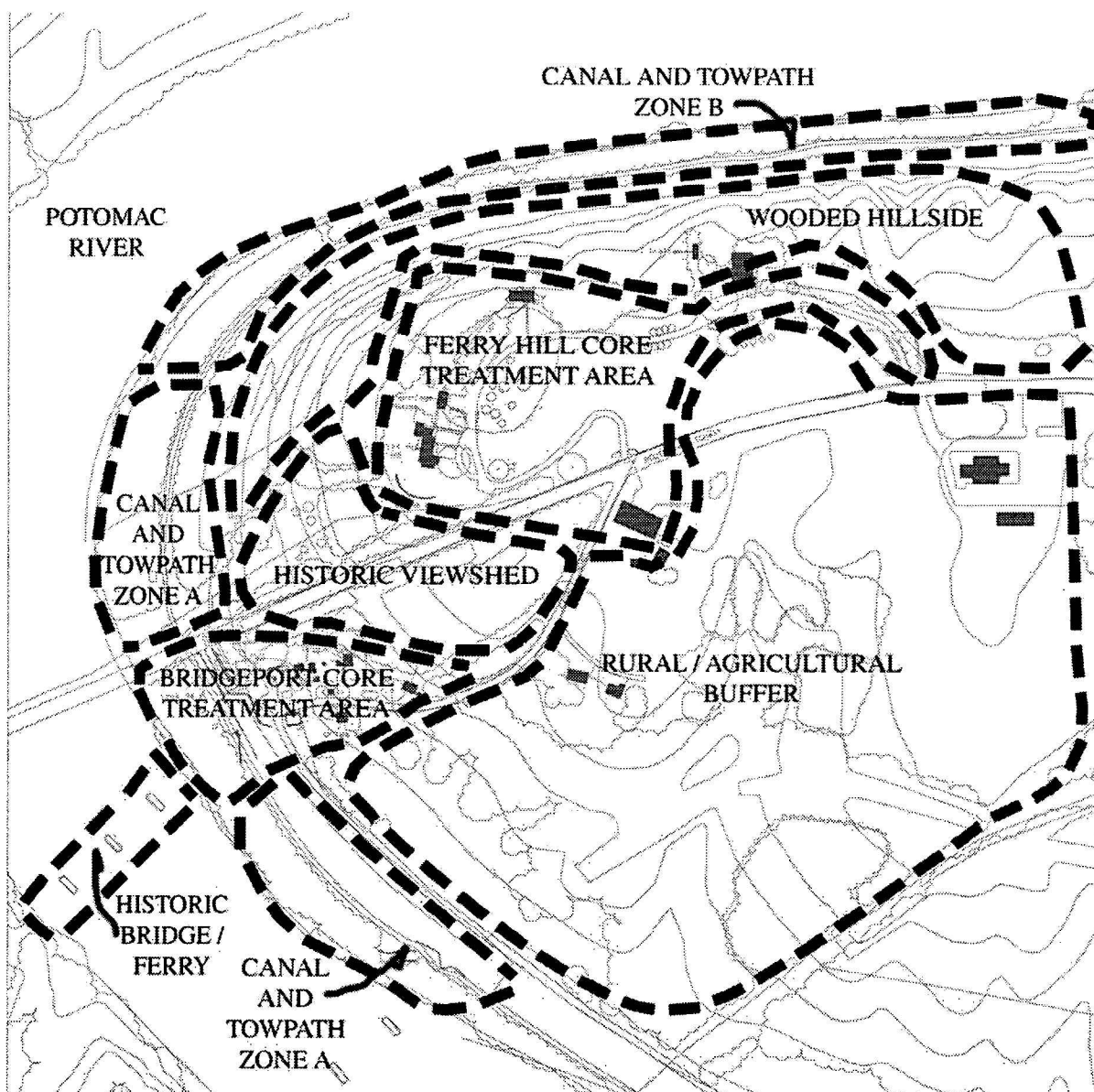
Historic Bridge and Ferry Site

Description of the Area: This area includes the historic ferry landing site, and the extant historic bridge related elements.

Treatment Recommendations: Consider re-establishing a seasonal Potomac River crossing for pedestrians and bicyclists. Provide seasonal ferry service across the river, and interpret the historic transportation route with guided talks and signs.

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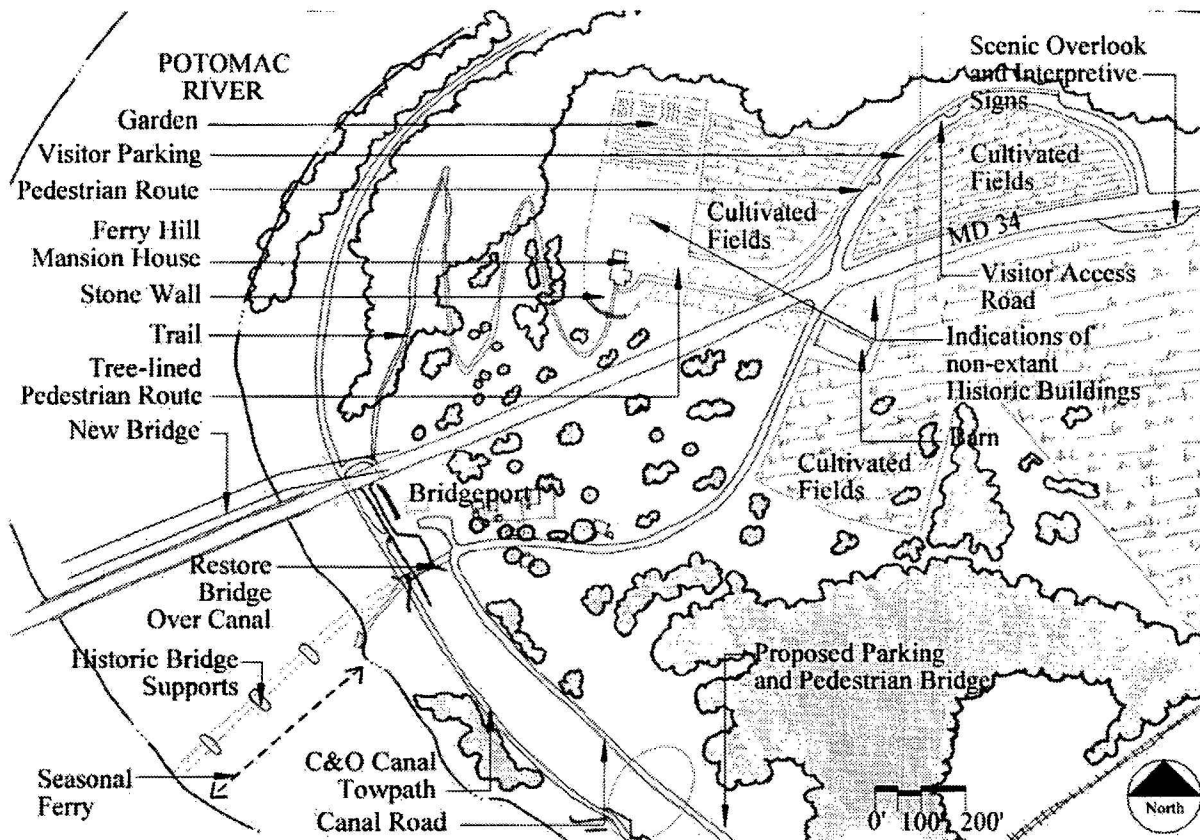
TREATMENT ALTERNATIVES

FIGURE 6.5: MANAGEMENT ZONES**TREATMENT ALTERNATIVE III: Rehabilitation with Maximum Intervention**

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FIGURE 6.6: SCHEMATIC PLAN
TREATMENT ALTERNATIVE III: Rehabilitation with Maximum Intervention

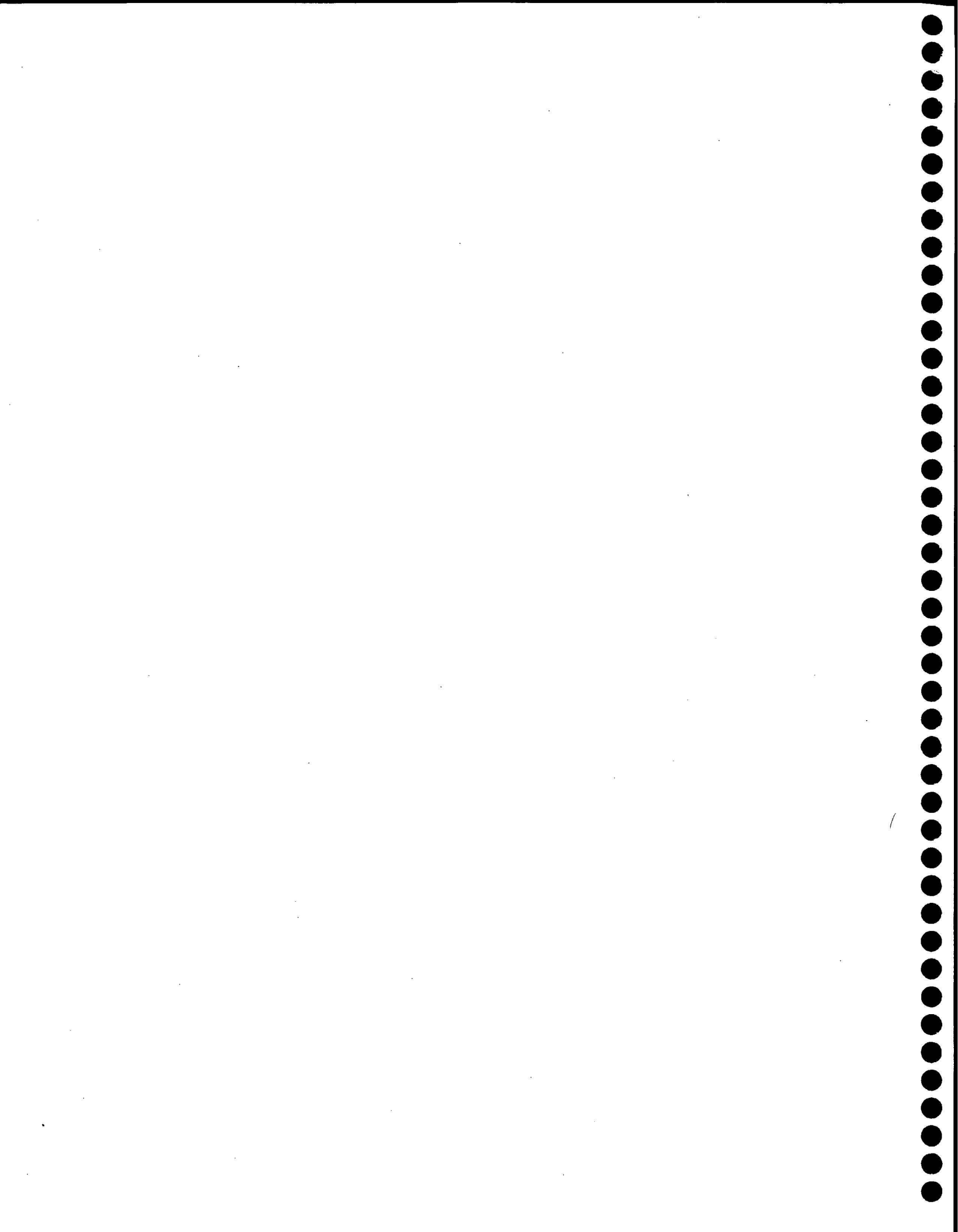


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Chapter 7:
Recommended Treatment Plan



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Recommended TreatmentGeneral Concept:

The recommended treatment for the historic landscapes at Ferry Hill and Bridgeport is rehabilitation. Similar to Treatment Alternative II, proposed rehabilitation is at a moderate level, with emphasis on removal of non-contributing elements, preservation and rehabilitation of significant historic buildings and elements, and clarification of the historic relationships between extant features.

Based on a predicted moderate visitation level for the site, recommended visitor amenities are moderate. Vehicular access and parking are provided at both Ferry Hill and Bridgeport. Pedestrian access between the two areas and connections to the C&O Canal towpath and Shepherdstown are proposed. Pedestrian routes through the historic cores of both sites are provided to allow visitors to get close to the historic structures and landscape elements. Comfort station facilities are proposed for both sites, although at Bridgeport these are minimal. Outside of the core historic areas, broader landscape management recommendations are intended to increase the integrity of views and overall character of the landscape. Desired open and enclosed areas are defined to be maintained or cleared. To a great extent, the existing relationship between woodlands and open areas is preserved.

While this Cultural Landscape Report addresses the *landscapes* at Ferry Hill and Bridgeport, additional research is necessary to determine the most appropriate interpretive approach for the site, and to guide the use and management of the extant historic structures. Historic Structures Reports (HSRs) are necessary to determine the most appropriate use and management approaches for the Ferry Hill mansion house, Barr house, Blackford/Knode store and outbuildings, and the Knode house. It is also recommended that an Interpretive Plan be prepared to determine the most appropriate interpretive approach for the site. It should be done as soon as possible, after the Cultural Landscape Report is approved, and the HSRs for the structures are complete. Although Ferry Hill and Bridgeport are not major destination points, their relationships and close proximity to Antietam, Shepherdstown, and the C&O Canal, result in a high level of potential visitor use in the area. The management zones and recommended treatment plan for the cultural landscape presented herein presume a moderate visitation level for the overall site. The Interpretive Plan should provide realistic predictions for quantities and types of visitors that may use the site, as well as a detailed interpretive program.

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Management Zones**Ferry Hill Core Treatment
Area:**

Description of the Area: This area includes the upper site surrounding the Ferry Hill mansion house. Historically this area included numerous outbuildings, and domestic and agricultural landscape features. It currently includes: the Ferry Hill mansion house, the extant curved stone retaining wall; expansive views of the surrounding landscape, the Potomac River, and Shepherdstown; and a number of non-contributing elements.

Treatment Recommendations:

- Remove non-contributing elements including: the cottage, the garage, the paved entrance road, the sidewalks near the Ferry Hill mansion house and cottage, and the short brick walls along the sidewalk near the mansion house.
- Maintain a lawn in the core area around the Ferry Hill mansion house as indicated on the recommended treatment plan. Mow existing grasses on a regular basis. Do not use herbicides or pesticides on the lawn.
- Prepare a Meadow Management Plan to direct management of the open spaces. Establish open field vegetation (meadow) using native grasses and forbs. Control woody species to maintain open fields.
- Conduct archeological investigations to determine location of driveway, fence, ornamental trees, garden, outbuildings, and orchard—if located, provide hints regarding their historic locations to visitors. Consider using ground-level markers to indicate historic building, fence, and road locations. Consider planting vegetation to emulate historic vegetation patterns.
- When archeological investigations are complete, smooth out grades at sites of removed non-contributing buildings and removed non-contributing entrance driveway. Attempt to do this by filling, and avoid cutting areas that may contain archeological resources. Attempt to emulate the topographic character present in the historic photographs.
- Preserve the historic curved stone wall.

Ferry Hill Mansion House

- Prepare a Historic Structures Report for the Ferry Hill mansion house and follow recommendations for treatment provided. When preparing the HSR, consider using the building to provide a visitor contact station, including restrooms, museum/exhibit space, and NPS personal offices.

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Circulation

- Provide visitor parking outside of the historic core.
- Provide a pedestrian route from the parking to the Ferry Hill mansion house. Follow the route of the historic driveway where possible. The route should be universally accessible, maintaining a slope of less than 5%. Use material such as a soil stabilizer that simulates the appearance of the towpath and dirt surface.
- Provide a pedestrian route from the curved stone wall to Bridgeport.

Curved Stone Wall

- Preserve the extant portions of the stone retaining wall and steps. Remove woody vegetation that is impacting the structural integrity of the wall. Repair the steps and allow visitors to use them.
- Attempt to locate additional portions of the stone wall by conducting archeological investigations. If successful, provide subtle indicators of the wall locations to help visitors understand its original size and location.

Mature Deciduous Trees Near House

- Although the ages of these trees are not known, their mature size emphasizes a historic feeling at the site. The trees may be aligned with the original farm entrance road. Preserve the trees and maintain them by pruning dead and dangerous limbs and monitoring their health.
- Consider adding maple trees along the entrance road alignment.

Small Scale Vegetation

- Remove shrubs and small trees that have been added around the house and along the road. These plants are confusing to the visitor—implying that similar plants, or arrangements of plants, may have existed during the period of significance. It is unknown what ornamental plants were grown during the period of significance.
- Indicate the general area where garden and orchard were located. Consider using an interpretive sign, brochure map, or mown area in the meadow to provide this information.

Views

- After the completion of the new bridge and the realignment of MD 34, consider the positive and negative impacts associated with restoring views.

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- If positive impacts outweigh negative impacts, attempt to provide visual links between the Ferry Hill mansion house and the Potomac River and ferry landing site (use the extant historic bridge piers for visual cues).
- If positive impacts outweigh negative impacts, provide views of the Ferry Hill mansion house and Bridgeport from the Potomac River and the ferry landing site on the Shepherdstown side of the river.

Interpretation

- Prepare an Interpretive Plan to determine the most appropriate interpretive approach for the site. The plan should be undertaken as soon as possible, after the Cultural Landscape Report is approved, and the HSRs for the structures are complete.
- Determine projected visitation levels.
- Determine interpretive themes (consider agriculture, transportation, the Civil War, and the Underground Railroad).
- Consider providing an interpretive brochure that explains what is known of the historic layout of the property and indicates major differences (elements added or missing).
- Consider implementing a self-guided walking tour of the Ferry Hill site that emphasizes the dominance of views to and from the house, relationships between the house and Bridgeport, the historic road alignment, and historic locations of non-extant buildings, circulation routes, fences, gardens, and plants.

Ferry Hill Secondary Zone

Description of the Area: This area includes the landscape to the East of the Core Treatment Area, and North of the current alignment of MD 34. Historically, the road to Bridgeport came through this area and made a steep turn, providing the major transportation route and defining the spatial arrangements of the agricultural landscape. Currently, the area includes the modern driveway, several non-contributing buildings and associated elements, and non-contributing vegetation along the edge of the driveway.

Treatment Recommendations:

- Remove non-contributing elements including: portions of the existing paved road, the brick entrance walls and iron gate, the flood building, the trailers, sidewalks, boardwalks, ornamental plants, and parking associated with these buildings.

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- Construct a new paved entrance road that follows the alignment of the historic road up to Route 34. Include "pull-off" parking along the road.
- At the bend, provide an indication of the historic road alignment. Consider maintaining a mown path to indicate the historic road location.
- Vary the materials used along the entrance road to indicate historic and non-historic routes. Provide interpretive materials explaining the meaning of the paving materials.
- Provide a pull-off opposite the new entrance road to the Ferry Hill mansion house. Relocate the historical markers that are scattered along MD 34 in this area to the pull-off site.
- Provide a secondary entrance to allow safe access to and from the site.
- Provide a pedestrian route from the parking lot to the Ferry Hill mansion house. Follow the route of the historic driveway where possible.
- Preserve the historic oak near the flood building. Protect the tree from any construction activities or other work that might compact the soil in its root zone. Monitor the health of the tree, and prune dead and dangerous limbs. Cut or remove woody vegetation that grows near the tree.
- Remove shrubs and small trees on the south side of the new entrance road.
- Provide site identifier signs announcing the site, and indicating the entrance road locations.
- Prepare an Open Field Management Plan to direct management of open spaces. In the area between MD 34 and the new park entrance road, establish open field vegetation (meadow) using native grasses and forbs.
- In the area to the north and east of the new entrance road, allow native woodland vegetation to develop.

**Bridgeport Core Treatment
Area**

Description of the Area: This area includes the extant structures and archeological resources related to the community of Bridgeport, the historic bridge pier, Lock 38, and the historic bridge abutments.

Treatment Recommendations:

Structures

- Prepare Historic Structures Reports for the Barr house, the Blackford/Knode store, and the Knode house and

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outbuildings. Treat the buildings as recommended in the Historic Structures Reports.

Circulation

- Reconfigure the parking lot as indicated in the Recommended Treatment Plan.
- Construct a new parking lot along Canal Road as indicated in the Recommended Treatment Plan.
- Construct a pedestrian/equestrian bridge to provide access over the canal between the towpath and the new parking lot.
- Consider providing seasonal pedestrian/bike ferry service across the Potomac River to Shepherdstown at the historic ferry landing site.
- Stabilize the historic bridge piers.
- Maintain the C&O Canal towpath as a regional trail.
- Provide a connection to a pedestrian route from the Ferry Hill mansion house.
- Construct a pedestrian route connecting the new Shepherdstown bridge sidewalk to Bridgeport.

Interpretation

- Prepare an Interpretive Plan to determine the most appropriate interpretive approach for the site. The plan should be undertaken as soon as possible, after the Cultural Landscape Report is approved, and the HSRs for the structures are complete.
- Determine projected visitation levels.
- Determine interpretive themes (consider regional transportation and commerce, agriculture, the Civil War, and the Underground Railroad).
- Consider providing an interpretive brochure that explains what is known of the historic layout of the property and indicates major differences (elements added or missing).
- Consider providing interpretive signs near the parking lot with information about Bridgeport, the ferry, Lock 38, and Ferry Hill.
- Consider encouraging self-guided visitor tours of Bridgeport.
- Consider constructing an interpretive exhibit at the Tavern/Ferry Inn site, providing information regarding the building's historic appearance and function.
- Consider interpreting the ferry landing.
- Consider incorporating a rustic comfort station into the Knode barn.

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- Consider utilizing the Blackford/Knode store as a small indoor exhibit space displaying historic photographs, maps, journal entries, and other items documenting the history of the small community.

Views

- After the completion of the realignment of MD 34 and the new bridge, consider the positive and negative impacts associated with restoring views.
- If positive impacts outweigh negative impacts, restore limited visual links between Ferry Hill and Bridgeport by selectively pruning or removing vegetation. Use caution to avoid increasing undesired views of MD 34 and related traffic.
- If positive impacts outweigh negative impacts, provide visual links between Bridgeport and the Potomac River at the historic ferry landing site.

Canal and Towpath Area

Description of the Area: This area includes the historic C&O Canal and towpath, the other related historic resources, the berm side of the canal, and the land between the towpath and the Potomac River.

Treatment Recommendations:

- Management and treatment within this zone should be consistent with the overall canal treatment.
- Vegetation – allow woods to develop, monitor and remove exotic species when they become invasive.
- As indicated in the Recommended Treatment Plan, provide a new parking lot and pedestrian bridge crossing the canal along Canal Road south of the railroad bridge.

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**Wooded Hillside North of
MD 34**

Description of the Area: The area includes steep slopes between the Ferry Hill Core Treatment Area and the Potomac River. This zone includes part of a significant natural area that contains ten plant species that are rare in the state.

Treatment Recommendations:

- Establish a safe (but not universally accessible) pedestrian trail through this zone. This will replace the existing trail that is very steep and narrow in several places. To achieve this, the trail should hug the contours of the slope and use a series of switchbacks. Carefully survey the route to determine the most appropriate layout of the trail.
- The trail should be four feet wide, with a slope between 2% and 15%. The surface material used should have a natural appearance.
- Monitor the threatened, endangered, and watchlist species to determine if they are increasing, declining, or maintaining their population. Also, monitor exotic and invasive species within this zone, and changes to the overall plant community.
- For the most part, management of vegetation in this area should use a hands-off approach. Exceptions include:
 1. Prune or remove trees that become hazards to visitors.
 2. Develop an exotic/invasive plant management plan and implement it in this area.
 3. Manage vegetation (prune, remove) along the pedestrian trail to allow easy access. (Prune branches below 7' high that reach across the trail.)

**Wooded Hillside South of
MD 34**

Description of the Area: The area includes the densely vegetated slopes between MD Route 34 and Bridgeport and Canal Road. The vegetation acts as a buffer, screening the road and traffic. The slope in this area is steeper than it was historically; it was changed when MD Route 34 and the James Rumsey Bridge were constructed.

Treatment Recommendations:

- After MD 34 has been realigned and the new bridge has been constructed, consider opening limited views between Ferry Hill and Bridgeport. Carefully weigh the positive and negative impacts of this action before implementing it. To restore views, selectively prune or remove vegetation between the Ferry Hill mansion house and Bridgeport.

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Rural Character Buffer Zone

Description of the Area: The area includes the rolling fields along the south side of MD 34 adjacent to the Ferry Hill site. The area includes pasture, and the American Legion site.

Treatment Recommendations:

- Establish an agreement with the property owner to preserve the agricultural character and land use within the viewshed of the Ferry Hill site. Encourage use of the land for cultivation or pasture.
- Encourage the removal of the American Legion building and parking. Restore this area to agricultural use.
- Gain agreement to install planting screen if building cannot be removed.

**MD 34, the Bridge, and
Pedestrian Access to the
Towpath**

Description of the Area: The portion of MD 34 that lies directly between Ferry Hill and Bridgeport is heavily traveled and plans are underway to realign the road and construct a new bridge. Plans also include the addition of a pedestrian route across the bridge, a scenic overlook, and a pedestrian link between the bridge and the towpath. The construction and realignment will directly impact Ferry Hill and Bridgeport, altering the topography, vegetation, and circulation in this area.

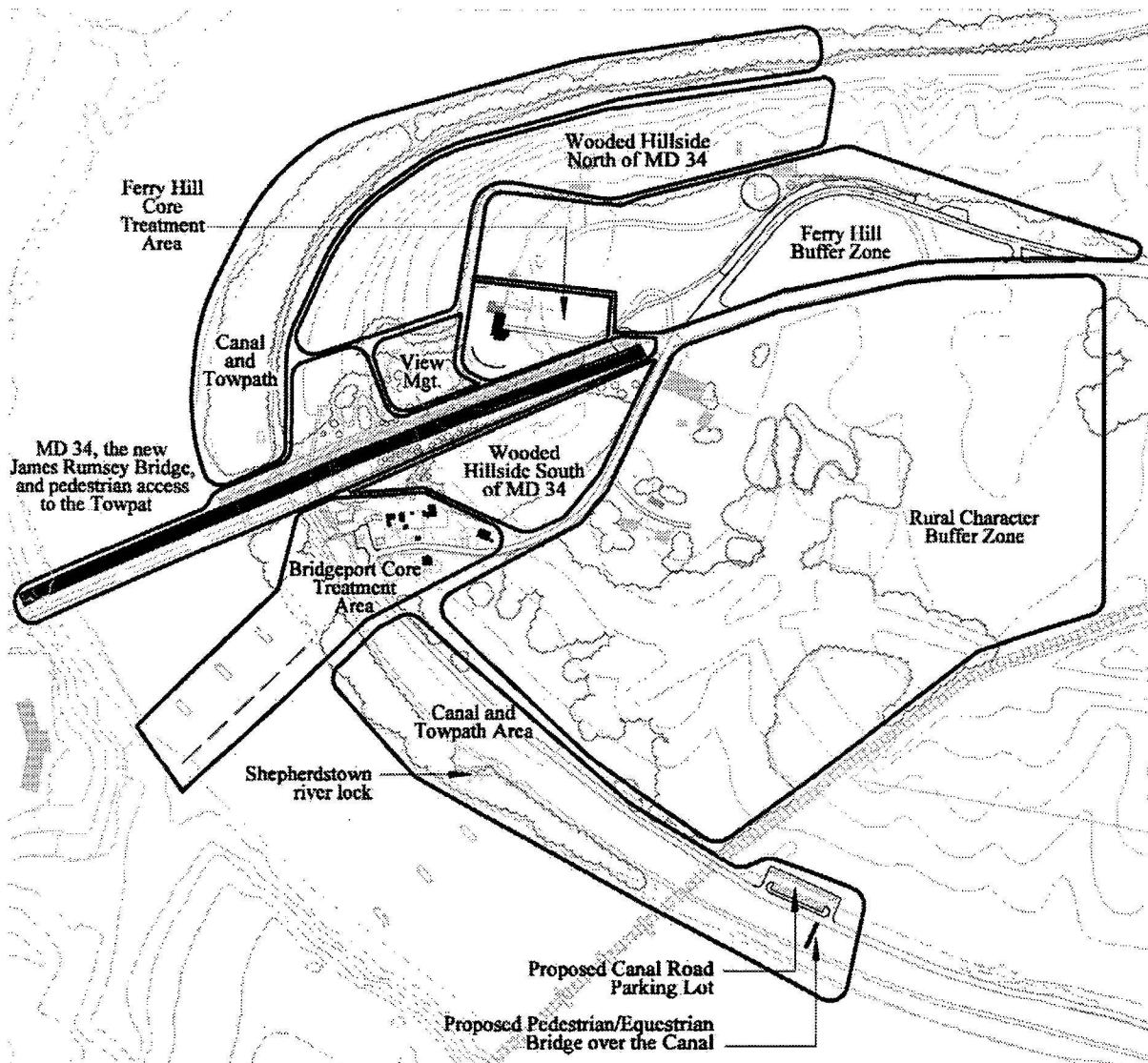
Treatment Recommendations:

- Provide vegetative buffers to screen the traffic along MD 34 from the visitors at Ferry Hill and Bridgeport. Be careful to consider potential impacts to views when designing the buffers.
- Limit impacts to Ferry Hill and Bridgeport historic landscapes as much as possible by participating in the planning process for the bridge and road realignment.
- In design of the pedestrian link between the new bridge and the towpath, do not attempt to provide a universally accessible link. Pedestrians using this route will need to be able to traverse a distance of over 800 feet to get from the parking area on the Shepherdstown side of the bridge to the towpath. This distance, regardless of slope, is severely limiting to most individuals with mobility difficulties. Providing a more steeply sloping route between the bridge and the towpath will greatly reduce the impacts to the historic resources within Bridgeport.
- Consider reducing the size of the overlook on the Maryland side of the new James Rumsey Bridge.

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FIGURE 7.1: MANAGEMENT ZONES
RECOMMENDED TREATMENT: Rehabilitation



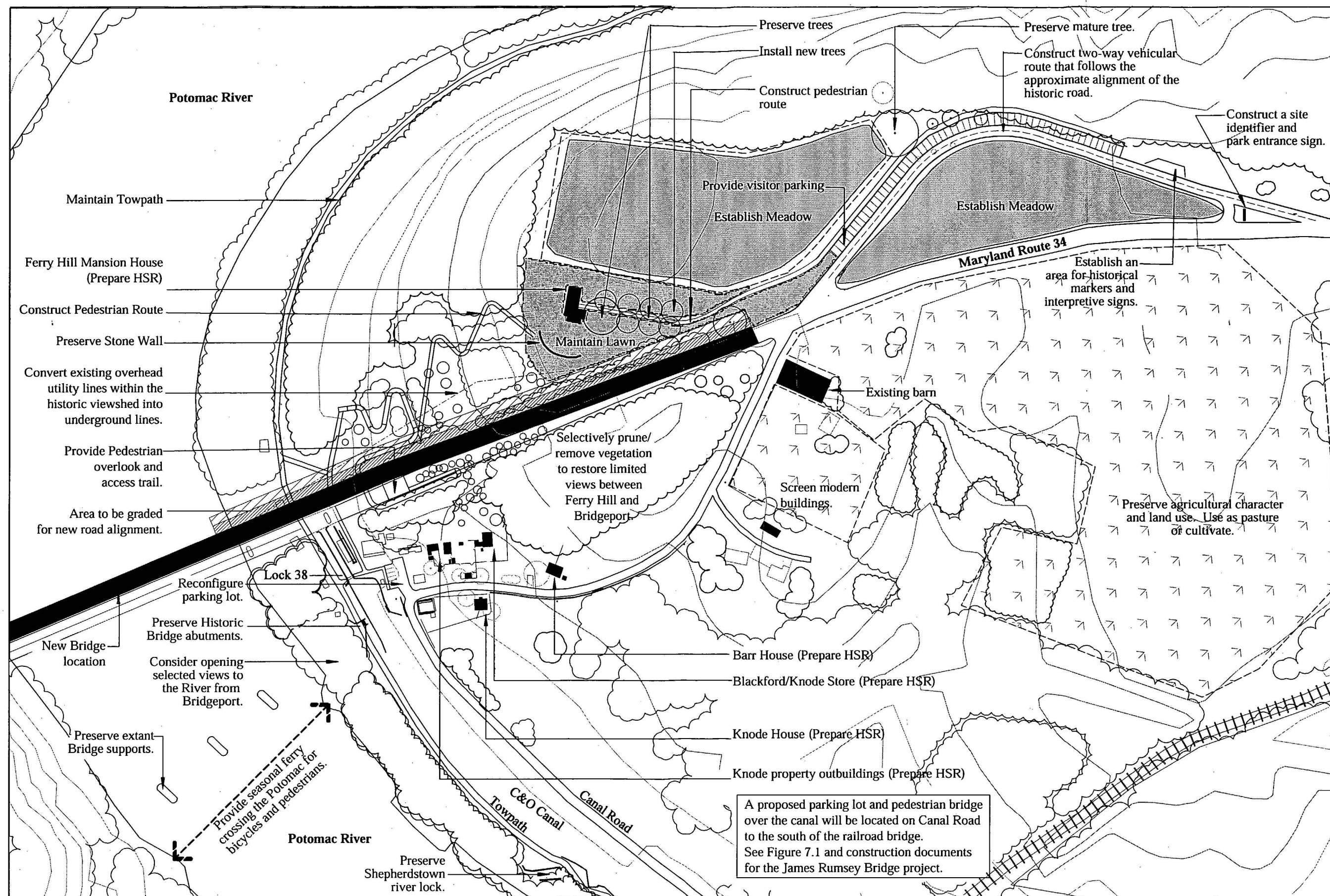
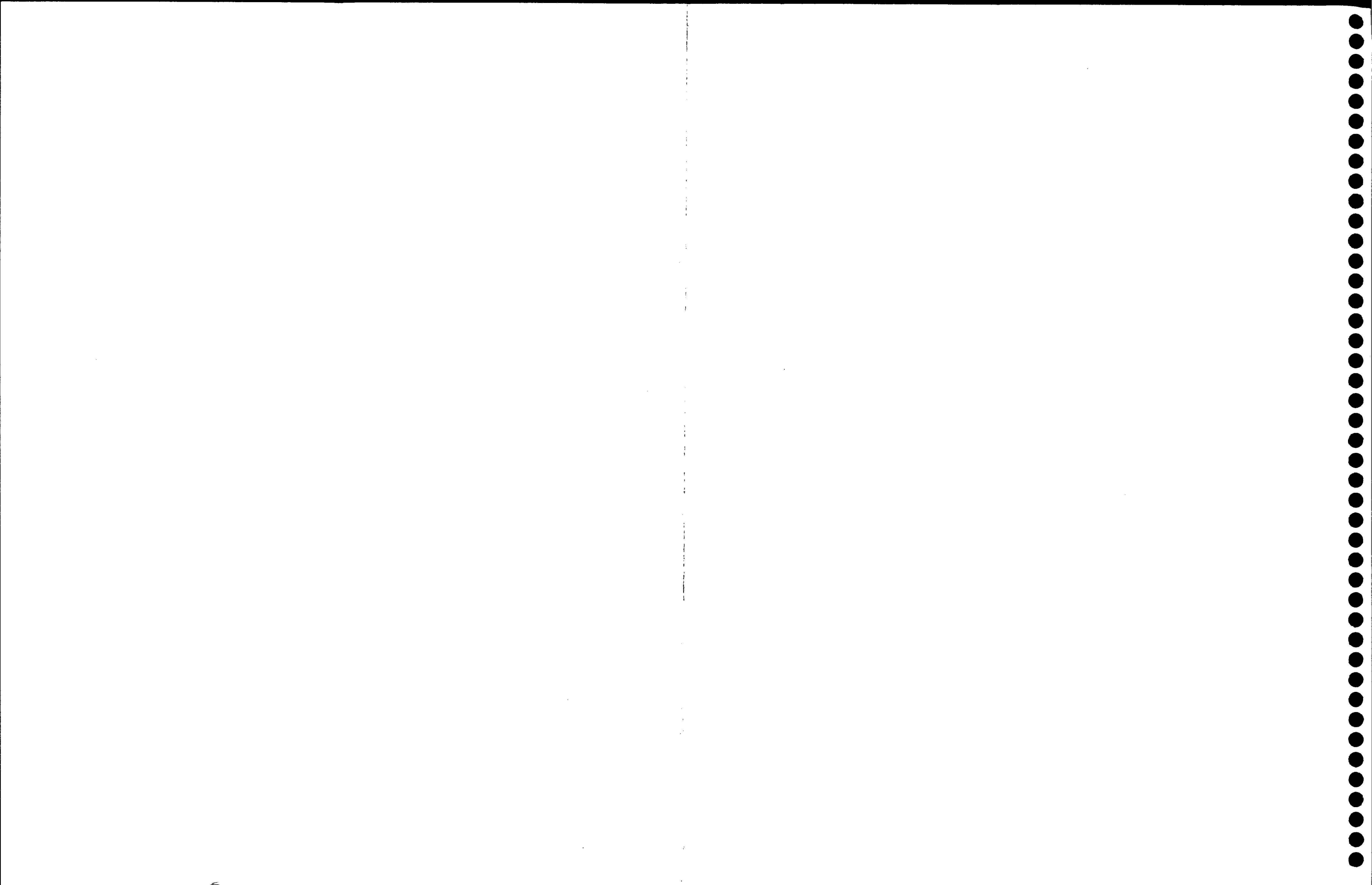
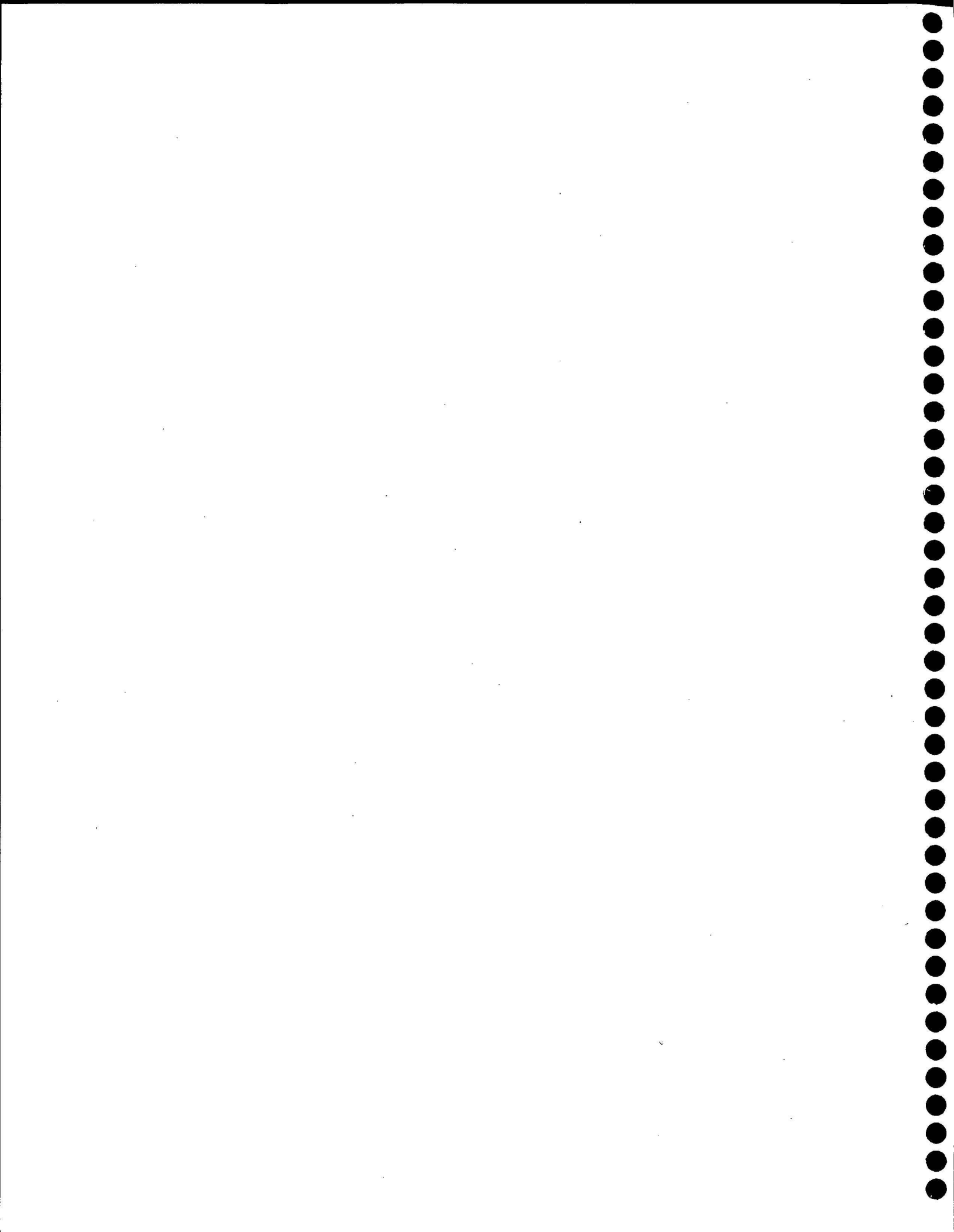


FIGURE 7.2: SCHEMATIC PLAN, RECOMMENDED TREATMENT

Final Plan, May 2004



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Appendix A:

Final Design for the Replacement of the James Rumsey Bridge

